



PLANNING SUB-COMMITTEE A		AGENDA ITEM : B2
Date:	3 rd September 2019	NON-EXEMPT

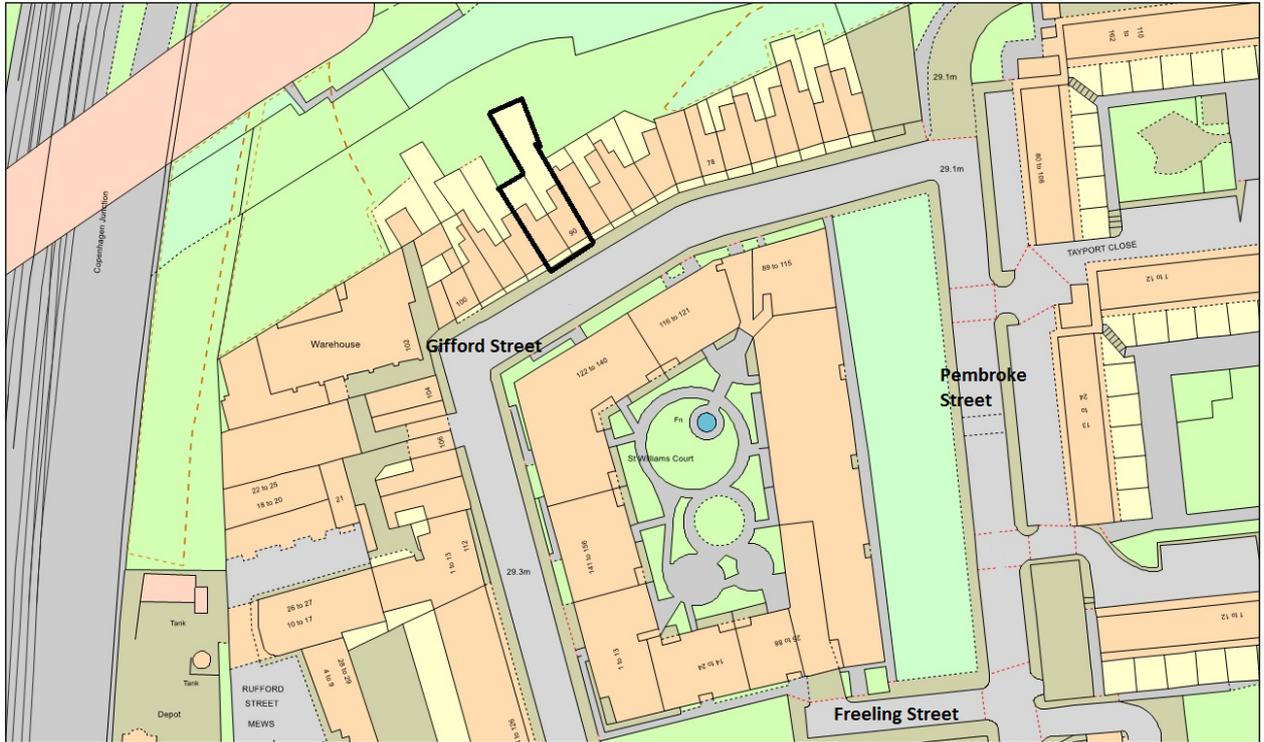
Application numbers	P2019/1996/FUL
Application types	Full Planning Application
Ward	Caledonian
Listed building	N/A
Conservation area	N/A
Development Plan Context	Core Strategy Key Area – Kings Cross & Pentonville Road Article 4 Direction (A1-A2)
Licensing Implications	None
Site Address	92 & 94 Gifford Street, Islington, N1 0DF
Proposal	Erection of mansard roof extensions with dormers above the existing butterfly roofs at nos. 92 and 94, and associated raising of party walls and chimney stacks. Reinstatement of timber sash window to rear second floor level elevation and rear ground floor fenestration changes at no. 94 and associated alterations.

Case Officer	Nathan Stringer
Applicant	Mr Paul Convery
Agent	JKA – Miss Heloise Desaissement

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET

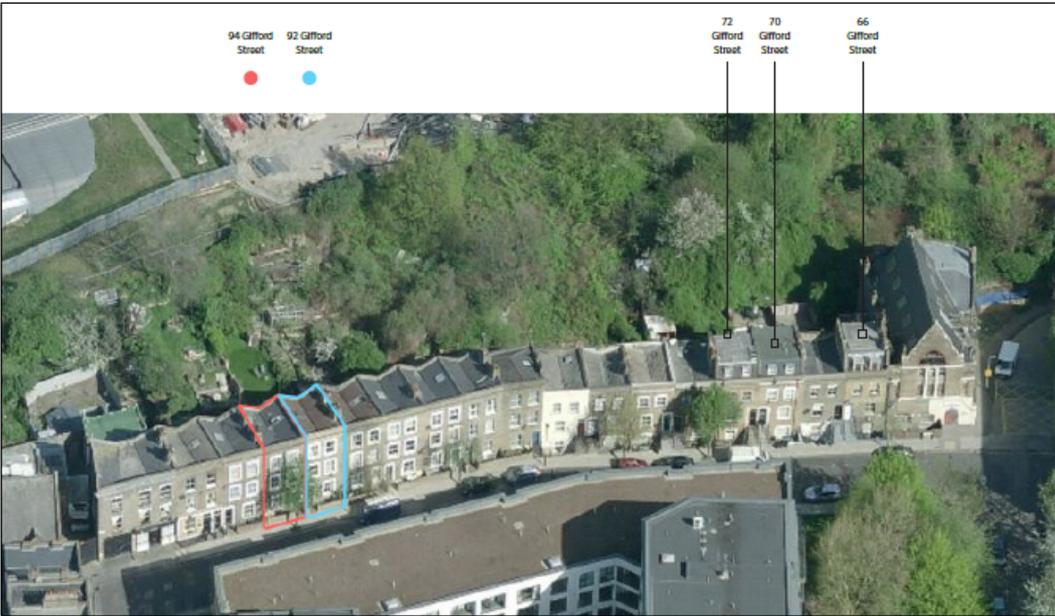


Figure 1: Aerial view of the site and surroundings



Figure 2: View of rear elevation



Figure 3: Gifford Street looking west (application site is on the right)

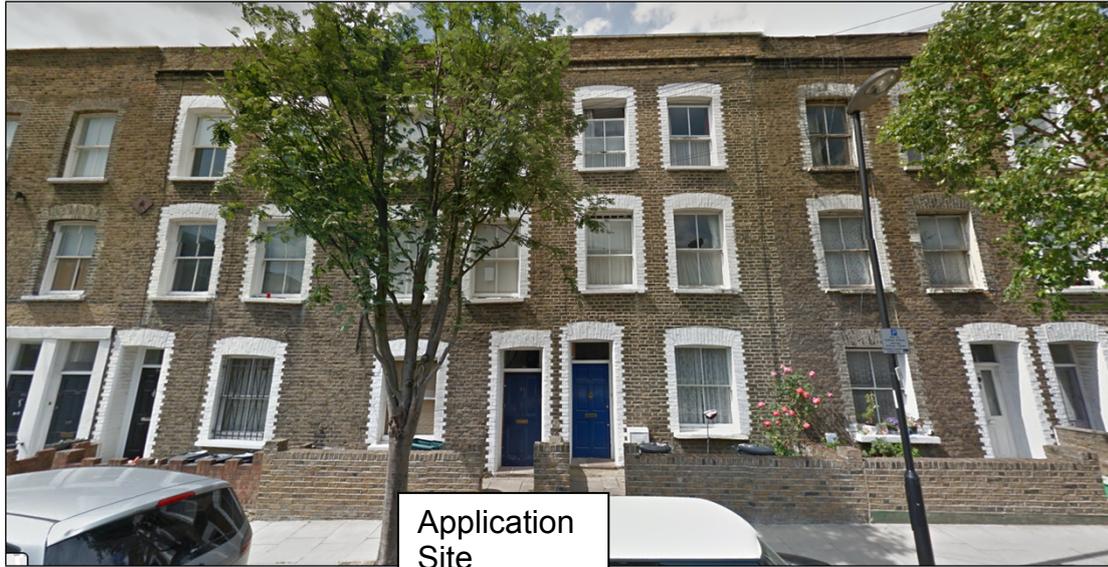


Figure 4: View of front elevation of nos. 92 (right) and 94 (left) Gifford Street



Figure 5: View of rear elevation of Nos. 92 (left) and 94 (right) Gifford Street

4. SUMMARY

- 4.1 The application site comprises of 2no. adjoining three-storey, mid terrace Victorian dwellings located on the northern side of Gifford Street. The properties each host a rear two storey outrigger, and their main roofslopes are formed by valley 'butterfly' roofs set behind parapets to the front. The buildings are not locally nor statutorily listed, and the site is not located within a conservation area.
- 4.2 Gifford Street is located to the south of the High Speed Railway tunnel portal and the North London Line of the London Overground; and to the east of the East Coast Mainline railway lines. The rear of the site backs onto open space which forms railway land. The vicinity of the site is primarily residential, characterised by largely uniform Victorian

terraced buildings on the northern side of Gifford Street (many of which contain original features including valley roofs set behind parapets), and modern flatted developments on the southern side of the street.

- 4.3 Under the terms of reference for the Council's constitution, the application is referred to committee as the applicant is an elected member of the council.
- 4.4 Overall, the proposal is considered to be of a high standard of design and would create contextual and policy compliant roof additions to the properties. The proposal would not cause any visual harm to the host properties, wider terrace setting and would not form dominant or disproportionate additions when seen from both the public and private realm.
- 4.5 The proposal is not considered to prejudice the residential amenity of neighbouring properties insofar of loss of light, overlooking, outlook or increased sense of enclosure and would not be contrary to policy DM2.1 of the Islington Development Management Policies June, 2013. The proposal is considered to be acceptable and in accordance with the Development Plan policies and planning permission is recommended for approval subject to conditions.

5. SITE AND SURROUNDINGS

- 5.1 The application site is comprised of 2no. adjoining three-storey, mid terrace Victorian dwellings located on the northern side of Gifford Street. The properties each host a rear two storey outrigger, and their main roof slopes are formed by valley 'butterfly' roofs set behind parapets to the front. The buildings are not locally nor statutorily listed, and the site is not located within a conservation area.
- 5.2 Gifford Street is located to the south of the High Speed Railway tunnel portal and the North London Line of the London Overground; and to the east of the East Coast Mainline railway lines. The rear of the site backs onto open space which forms railway land. The vicinity of the site is primarily residential, characterised by largely uniform Victorian terraced buildings on the northern side of Gifford Street (many of which contain original features including valley roofs set behind parapets), and modern flatted developments on the southern side of the street.

6. PROPOSAL (in Detail)

- 6.1 Planning permission is sought for the erection of mansard roof extensions above the existing valley roofs of the two adjoining properties. The mansards would be set behind the existing parapets to the front, and would retain the 'valley' roof parapet profile to the rear. The extensions would have a height of 2.8m, however from the front they would only project beyond the parapet by 1.4m. The mansards would also each include 2no. dormers to both the front and rear elevations – those to the front would have a width of 1.1m, and those to the rear a width of 1m. To accommodate the extensions, the chimney stacks and pots at the eastern and western boundaries with nos. 90 and 96 Gifford Street would be increased in height, as would the party wall between the two application properties. The extensions would be clad in slate, with leaded cheeked dormers and double-glazed timber sash windows. The extended party walls would be flashed over with lead.
- 6.2 The proposal also includes alterations to fenestration at the rear of no. 94, including the reinstatement of a previously blocked window opening at the second floor level (a timber sash window would be inserted into the opening), and the replacement of the existing ground floor window and door openings with a single timber sliding window/door opening.

7. RELEVANT PLANNING HISTORY:

No. 92 Gifford Street

7.1 None.

No. 94 Gifford Street

7.2 890982: Conversion to provide one 1-bedroom flat and one 2-bedroom maisonette. Approved with conditions 09/01/1990.

7.3 950155: Conversion to provide 2 x 1 bedroom flats on ground and first floors and one studio flat on second floor. Application refused 17/03/1995, subsequent appeal dismissed 18/02/1996.

REASON: The proposed conversion is contrary to the Council's adopted policy for residential conversion, requiring the provision of at least one 2-bedroom unit, capable of family occupation, which this scheme fails to provide.

Neighbouring Sites

7.4 862132 (No. 66 Gifford Street): Construction of a roof extension to add one habitable room and formation of a roof terrace. Approved with conditions 24/08/1987.

7.5 P001322 (No. 70 Gifford Street): Conversion to three flats with mansard roof and single storey rear extensions. Approved with no conditions 31/07/2000.

7.6 980147 (No. 72 Gifford Street): Construction of a mansard roof extension. Approved with conditions 20/04/1998.

7.7 882125 (No. 100D Gifford Street): Roof extension to existing two-storey dwelling house. Approved with conditions 13/09/1989.

8. CONSULTATION

Public Consultation

8.1 Letters were sent to occupants of 65 adjoining and nearby properties at Gifford Street and Rufford Street on 18 July 2019. Consultation expired on the 11 August 2019, however it is the Council's practice to continue to consider representations made up until the date of a decision.

8.2 At the time of writing this report **no** comments or objections have been received

Internal Consultees

8.3 None.

9. RELEVANT STATUTORY DUTIES & DEVELOPMENT PLAN CONSIDERATION & POLICIES

9.1 Islington Council (Planning Sub-Committee A), in determining the planning application has the following main statutory duties to perform:

- To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990);

- To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington's Local Plan, including adopted Supplementary Planning Guidance.)
- 9.2 The Planning Policy Framework (NPPF): Paragraph 10 states: "at the heart of the NPPF is a presumption in favour of sustainable development."
- 9.3 At paragraph 8 the NPPF states that the planning system has three overarching objectives in achieving sustainable development, being an economic objective, a social objective and an environmental objective.
- 9.4 The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.
- 9.5 Since March 2014 Planning Practice Guidance for England has been published online.
- 9.6 In considering the planning application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.
- 9.7 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:
- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.
 - Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.
- 9.8 Members of the Planning Sub-Committee must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.
- 9.9 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to: (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act; (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Development Plan

- 9.10 The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan that are considered relevant to this application are listed at Appendix 2 to this report.
- 9.11 Some weight is attributable to the Draft London Plan 2019.
- 9.12 The site has the following designations under the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013 and the Finsbury Local Plan 2013:
- Kings Cross & Pentonville Road Core Strategy Key Area
 - Article 4 Direction (A1-A2)

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.4 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:
- Design and Appearance
 - Impact on the amenity of neighbouring residents.

Design and Appearance

- 10.6 The National Planning Policy Framework 2019 (NPPF) confirms that the Government attaches great importance to the design of the built environment, and notes that good design is a key aspect of sustainable development and should contribute positively to making places better for people.
- 10.7 Policy CS9 of Islington's Core Strategy sets out the general principles to be followed by new development in the Borough. Policy CS9 and Policy DM2.1 of Islington's Development Management Policies 2013 accord with the National Planning Policy Framework (NPPF) in seeking to sustain and enhance Islington's built environment. Taken together, they seek to ensure that proposed development responds positively to existing buildings, the streetscape and the wider context, including local architecture and character, surrounding heritage assets, and locally distinctive patterns of development.
- 10.8 The application site comprises of two adjoining properties three-storey, mid terrace Victorian dwellings at nos. 92 and 94 Gifford Street, which are located on the northern side of the road. The properties each host a rear two storey outrigger, and their main roofslopes are formed by valley 'butterfly' roofs set behind parapets to the front. The buildings are not locally nor statutorily listed, and the site is not located within a conservation area.
- 10.9 The application proposes the erection of mansard roof extensions above the existing valley roofs of the two adjoining properties, and fenestration alterations at the rear of no. 94 including the reinstatement of a previously blocked window opening at second floor level and the replacement of the ground floor window and door openings with a single sliding window/door opening.

- 10.10 With regard to rooflines outside of conservation areas (such as the application site), paragraph 5.153 of the Islington Urban Design Guide 2017 states that there is more scope to introduce roof extensions where these are of a high quality design. Where a street frontage benefits from a consistent and unbroken roofline, alterations which would disrupt this consistent roofline and be visible from the public realm need to be designed in a style appropriate to the host building. Where the extension is not visible from the public realm, for example if it is generously setback from the front parapet, there may be more scope for flexibility in design.
- 10.11 The properties form part of a terrace group on the northern side of Gifford Street (nos. 66-100), most of which contain hidden valley roofs set behind front parapets. Whilst three of the properties host existing mansard roof extension – at nos. 66, 70 and 72, overall the roofline of the terrace group is considered to be largely unbroken. The construction of roof extensions which are not in keeping with the terrace can be damaging to its architectural unit, and have a deleterious effect upon the character and appearance of the area.
- 10.12 Whilst the existing roofline of the terrace group is largely unbroken, it is important to note the presence of the 3no. existing mansard roof extensions, which are considered to set a precedent for sensitively designed roof extensions on this side of Gifford Street. In this context, the existing extensions are considered to have a neutral impact on the character and appearance of the street-scene and wider area. Therefore, in principle, two well-designed roof extensions at the application properties are considered to not detract from the street-scene along Gifford Street.
- 10.13 Paragraphs 5.154-5.158 of the Urban Design Guide 2017 discuss the most appropriate types of roof extensions for different types of roof forms, as well as the design principles that should be employed for each type. It is noted that mansard roof extensions are best suited for valley roofs on traditional properties. The guidance states that roof extensions to historic terraces should retain the historic parapet form and be set behind it. Particularly to Victorian/Edwardian terraces, the raising of the brickwork should be avoided, with clear distinction between the host building and the roof extension above being maintained. Valley ‘butterfly’ parapet profiles are a strong characteristic of rooflines in Islington and where these survive they should be retained. Party walls should follow the form of the roof and should not include a 90 degree up stand projecting beyond the form of the roof extension, and chimney stacks should be retained and only raised where they will not disrupt the rhythm of the terrace.
- 10.14 The proposed mansards would be set behind the existing parapets to the front, and would retain the ‘valley’ roof parapet profile to the rear. The extensions would each have a height of 2.8m, however from the front they would only project beyond the parapet by 1.4m. The mansards would also each include 2no. dormers to both the front and rear elevations – those to the front would have a width of 1.1m, and those to the rear a width of 1m. To accommodate the extensions, the chimney stacks and pots at the eastern and western boundaries with nos. 90 and 96 Gifford Street would be increased in height, as would the party wall between the two application properties. The extensions would be clad in slate, with leaded chequered dormers and double-glazed timber sash windows. The extended party walls would be flashed over with lead.

10.15 From street level on Gifford Street, the mansard roof extensions would not be significantly prominent given both the minimal height of the extensions above the parapet, and the setbacks proposed. Whilst the application properties are visible in views along Gifford Street, any views would be of the extensions' traditional mansard design and they would not appear prominent or overbearing within the immediate streetscene context given their overall acceptable height, scale and massing.

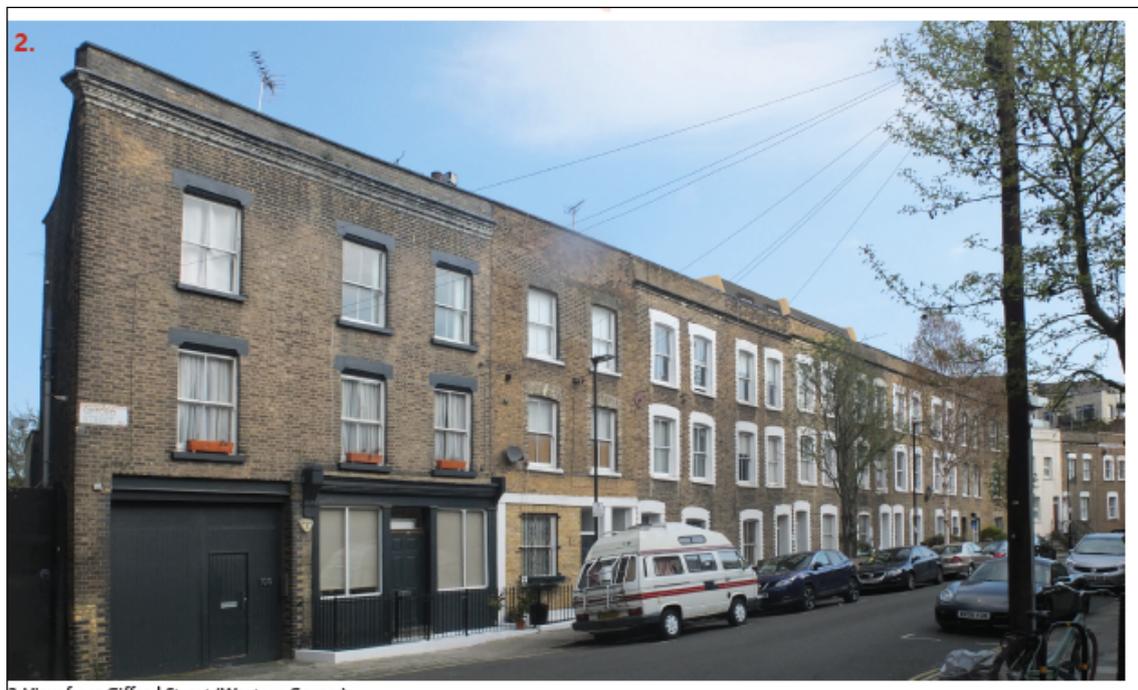


Figure 6: Proposed street views of the roof extensions at 92 & 94 Gifford Street

10.16 The proposal would result in the extensions being higher than the existing roofs and would require the chimneys at the boundaries with nos. 90 and 96 to be extended in height (as well as the building up of the party wall between the two properties). However, it is not considered that the chimney extensions would be unduly prominent in both public views from the street level as the parapet heights would be retained.

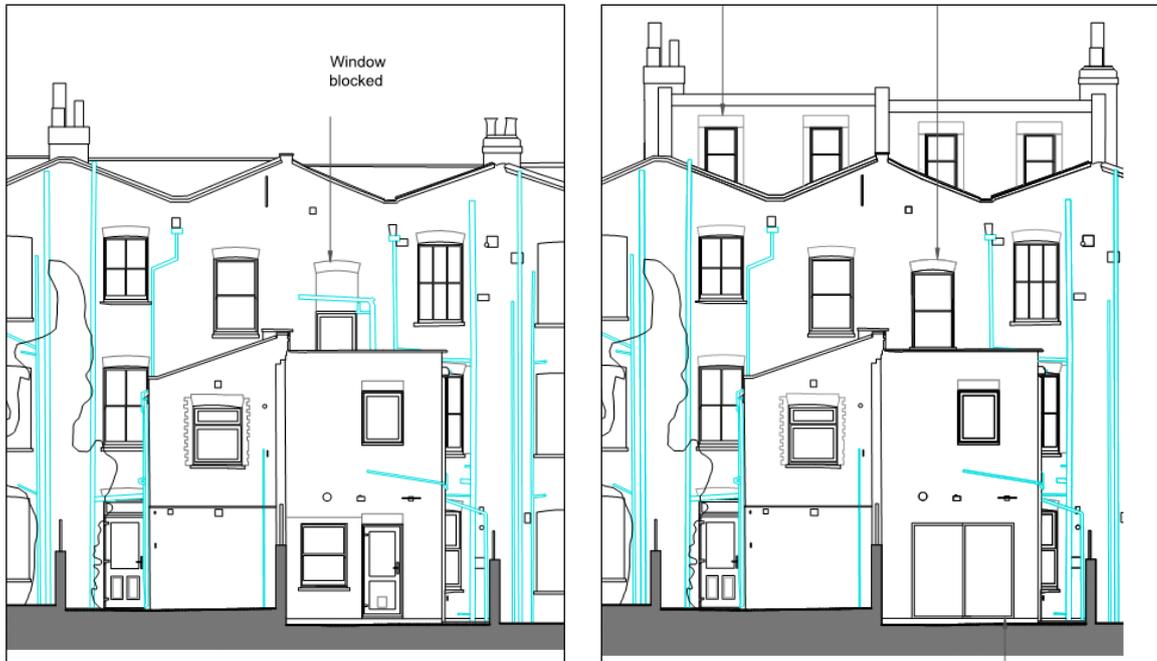
10.17 The design of the mansard extension would match the principles set out within the Urban Design Guide. It would retain and be set behind the parapet to the front of the dwelling, and would also retain the valley 'butterfly' profile to the rear elevation, which is considered to be a strong characteristic of the terrace group. Further, the raising of the party walls would match the profile/slopes of the mansard addition and would not include any 90-degree projecting upstands. Whilst the chimney stack at the party wall between the host property and no. 8 would be raised, as noted above it would not disrupt the rhythm of the terrace.

10.18 With regard to dormers, paragraph 5.161 of the Urban Design Guide states that the proportions of the dormer should relate to the windows of the original house. The solid surrounds (cheeks) of the dormer should be as slender as possible; simple lead cheeks with a double hung timber sash window is the best solution in this instance. Except for the window frame and cheeks, there should not be any solid face. The dormer should be positioned a clear distance below the ridge-line, significantly clear of the boundary parapets, and above the line of the eaves.

- 10.19 To proposed dormers would align with the windows of the original properties on the floors below. They would be slender, with simple lead cheeks and would not include significant expanses of solid face. They would be positioned a clear distance (approximately 0.5m) below the ridge of the mansard roof extensions, and set back the eaves where viewed from the rear. The dormers would be significantly clear of the boundary parapets, and would include double hung traditional timber sash windows.
- 10.20 The proposed reinstatement of a previously blocked window opening at the rear second floor level of no. 94 is welcomed, noting that the opening would match that of the original resulting in an enhancement in the character and appearance of the rear elevation of the dwelling. The proposed timber sash window to be inserted into the opening is also acceptable.
- 10.21 The proposed alterations to the rear ground floor fenestration at no. 94, including the replacement of the existing window and door openings with an enlarged single window/door opening to garden, is also considered to be acceptable and would not cause harm to the character or appearance of the host building. The use of timber materials for the sliding window/door is particularly welcomed.
- 10.22 Overall, the proposal mansard extensions and associated dormer windows at nos. 92 and 94, and alterations to the rear fenestration at no. 94, are considered to be acceptable and would cause no visual harm to the character or appearance of the host buildings, wider terrace setting, streetscene nor wider urban area. The proposal is therefore considered to accord with the NPPF 2019, policies 7.4 and 7.6 of the London Plan 2016, Draft London Plan Policies D1 & D2, policy CS9 of the Core Strategy 2011, policy DM2.1 of the Development Management Policies 2013 and Islington's Urban Design Guide 2017.



Figures 6 and 7: Existing and proposed front elevations (left and right, respectively).



Figures 8 and 9: Existing and proposed rear elevations (left and right, respectively).
Neighbouring Amenity

- 10.23 London Plan Policy 7.6 requires buildings and structures not to cause unacceptable harm to the amenity of surrounding land and buildings, particularly residential buildings, in relation to privacy and overshadowing, in particular. Policy DM2.1 of the Development Management Policies 2013 requires development to provide a good level of amenity including consideration of overshadowing, overlooking, privacy, sunlight and daylight, over-dominance, sense of enclosure and outlook. One of the core principles is to always seek to secure a good standard of amenity for all existing and future occupants of land and buildings. In this instance, no neighbour concerns have been raised with regard to amenity impacts of the proposal.
- 10.24 The proposed mansard additions would be located at roof level, and would be set in from the front and rear of the properties. They would therefore not cause harm to neighbouring amenity with regard to overshadowing, access to daylight and sunlight, over-dominance, sense of enclosure or outlook. The windows to the front of the extensions would be set back from the properties opposite and across the highway by at least 16m and would therefore not have an undue overlooking impact on privacy. This is further reduced when taking into consideration the existing overlooking between the properties given the windows at lower floor levels. The rear of the site backs onto open space which forms part of the railway land, and therefore there would be no overlooking concerns at the rear from either the dormer windows, or the reinstated window opening at the second floor level and alterations to ground floor opening at no. 94.
- 10.25 For these reasons, it is considered that the proposed development would not unacceptably harm the living conditions of the occupiers of the adjoining properties. Accordingly, the proposal does not conflict with policy DM2.1 of the Development Management Policies 2013 or policy 7.6 of the London Plan 2016 insofar as they aim to safeguard residential amenity.

11. SUMMARY AND CONCLUSION

- 11.1 The principle of the development is considered acceptable and would not cause any visual harm to the character or appearance of the host building, wider terrace setting, streetscene or wider urban context. The proposal is considered to be conducive to the surrounding and established residential character and use of the area.
- 11.2 The proposed works would not result in unacceptable harm to neighbouring amenity with regard to overshadowing, overlooking, privacy, sunlight and daylight, over-dominance, any undue or material increase in sense of enclosure or loss of outlook to the rear elevations of both adjoining properties.
- 11.3 In accordance with the above assessment, it is considered that the proposed development is consistent with the policies of the London Plan 2016, Draft London Plan Policies D1 & D2, the policy CS9 of the Islington Core Strategy 2011, the policy DM2.1 of the Islington Development Management Policies 2013 and associated Supplementary Planning Documents and should be approved accordingly with conditions.

Conclusion

- 11.4 It is recommended that planning permission be granted subject to conditions as set out in Appendix 1 – Recommendations.

APPENDIX 1 – RECOMMENDATION

RECOMMENDATION

That the grant of planning permission be subject to conditions to secure the following:

List of Conditions:

1	Commencement
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved plans list
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>Design & Access Statement Rev A dated 15/07/2019, and drawing numbers 100, 200 & 300.</p> <p>REASON: To comply with Section 70(1) (a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
3	Materials
	<p>CONDITION: The development shall be constructed in accordance with the schedule of materials noted on the hereby approved plans and Design & Access Statement Rev A. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter into perpetuity.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>

List of Informatives:

1	Construction Works
	<p>Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Pollution Team, Islington Council, 222 Upper Street London N1 1XR (Tel. No. 020 7527 3258 or by email pollution@islington.gov.uk) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1. National and Regional Guidance

The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

- Planning Practice Guide (2014)

2. Development Plan

The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2016 - Spatial Development Strategy for Greater London

Policy 7.4 – Local character

Policy 7.6 – Architecture

Draft London Plan Policies D1 & D2.

B) Islington Core Strategy 2011

Policy CS9 – Protecting and Enhancing Islington's Built and Historic Environment

C) Development Management Policies June 2013

DM2.1 Design

3. Designations

The site has the following designations under the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013 and Site Allocations 2013:

Islington Local Plan

Core Strategy Key Area – Kings Cross & Pentonville Road

Article 4 Direction (A1-A2)

4. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington Local Plan

Urban Design Guide 2017.